

The Villages®

PRELIMINARY / ENGINEERING PLAN OF COLONY GOLF COURSE PARKING/STARTER SHACK

LEGAL DESCRIPTION

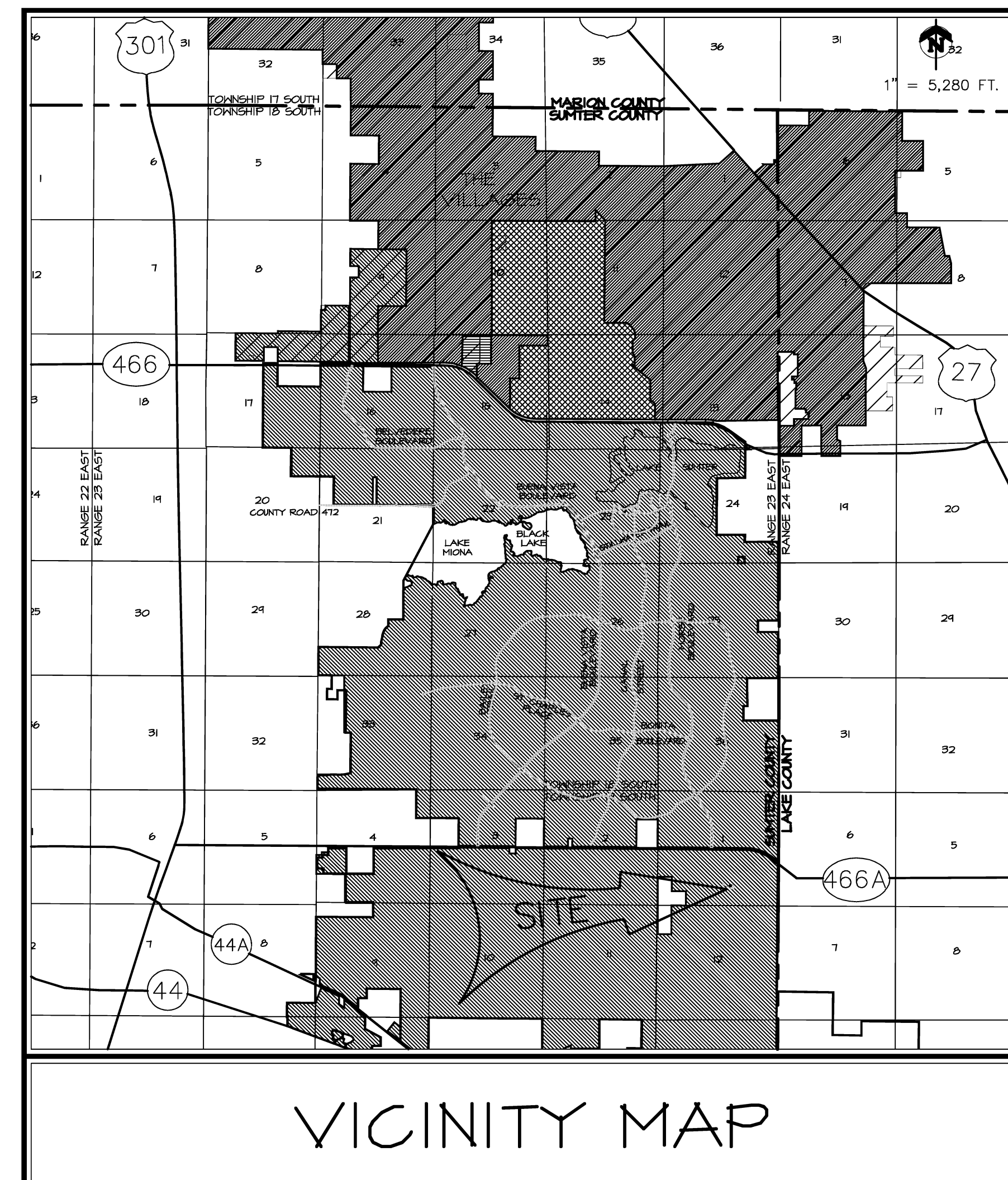
THAT LAND LYING IN SECTION 1, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

FROM THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF SAID SECTION 1 RUN THENCE N00°30'42"E, ALONG THE WEST LINE OF SAID SOUTHEAST 1/4 A DISTANCE OF 1044.61 FEET; THENCE DEPARTING SAID WEST LINE S89°29'18"E, 338.15 FEET TO THE POINT OF BEGINNING; THENCE N64°58'23"E, 16.47 FEET; THENCE N41°00'44"E, 45.89 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE NORTHEAST, HAVING A RADIUS OF 403.08 FEET AND A CHORD BEARING AND DISTANCE OF S55°20'27"E, 89.21 FEET TO WHICH A RADIAL LINE BEARS S41°00'44"W; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 12°42'22", AN ARC DISTANCE OF 89.39 FEET; THENCE ALONG A NON-TANGENT LINE S06°38'50"W, 52.19 FEET; THENCE S39°14'13"W, ALONG A RADIAL LINE A DISTANCE OF 32.84 FEET TO A POINT ON THE ARC OF A CURVE CONCAVE NORTHEAST, HAVING A RADIUS OF 135.42 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 17°13'39", AN ARC DISTANCE OF 40.72 FEET TO THE POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE NORTH AND HAVING A RADIUS OF 488.42 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 53°29'35", AN ARC DISTANCE OF 456.00 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE NORTHWEST, HAVING A RADIUS OF 216.44 FEET AND A CHORD BEARING AND DISTANCE OF N53°26'18"E, 52.36 FEET TO WHICH A RADIAL LINE BEARS S29°36'54"E; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 13°53'36", AN ARC DISTANCE OF 52.48 FEET; THENCE ALONG A NON-TANGENT LINE S25°02'35"E, 217.74 FEET; THENCE S42°19'59"W, 78.73 FEET; THENCE S57°45'11"W, 56.89 FEET; THENCE S89°08'59"W, 19.13 FEET; THENCE N73°12'36"W, 87.70 FEET; THENCE N29°00'50"W, 65.33 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE SOUTHWEST AND HAVING A RADIUS OF 185.90 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 31°02'47", AN ARC DISTANCE OF 100.73 FEET; THENCE ALONG A NON-TANGENT LINE S84°26'17"W, 16.80 FEET; THENCE S89°08'57"W, 20.05 FEET; THENCE N05°12'03"W, 2.95 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE SOUTHWEST AND HAVING A RADIUS OF 14.50 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 88°20'42", AN ARC DISTANCE OF 22.36 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE NORTH AND HAVING A RADIUS OF 504.84 FEET; THENCE WESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 25°33'19", AN ARC DISTANCE OF 225.17 FEET TO THE POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE NORTHEAST AND HAVING A RADIUS OF 151.84 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 23°47'28", AN ARC DISTANCE OF 63.05 FEET TO A POINT OF TANGENCY; THENCE N44°11'58"W, 19.04 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHEAST AND HAVING A RADIUS OF 356.50 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 14°50'18", AN ARC DISTANCE OF 92.33 FEET TO THE POINT OF BEGINNING.

CONTAINING 1.50 ACRES, MORE OR LESS.

OWNER/DEVELOPER:
THE VILLAGES OF LAKE-SUMTER, INC.
990 OLD MILL RUN
THE VILLAGES, FL 32162
JOHN R. GRANT, VICE PRESIDENT

ENGINEER:
FARNER, BARLEY AND ASSOCIATES, INC.
4450 N.E. 83rd ROAD
WILDWOOD, FLORIDA 34785
JEFFREY A. HEAD, P.E.
FLA. LIC. NO. 58058



SECTION 1
TOWNSHIP 19 SOUTH; RANGE 23 EAST
SUMTER COUNTY, FLORIDA

INDEX OF SHEETS

- | | |
|----|-----------------------------|
| 1. | TITLE SHEET |
| 2. | MASTER DEVELOPMENT PLAN |
| 3. | AERIAL PHOTOGRAPH |
| 4. | SITE PLAN |
| 5. | GRADING PLAN |
| 6. | STORMWATER DRAINAGE PLAN |
| EI | EROSION CONTROL MASTER PLAN |


THIS PLAN HAS BEEN APPROVED BY THE VILLAGES AND NO CHANGES SHALL OCCUR TO THE LAYOUT, DESIGN OR ANY OTHER ASPECT OF THE PLAN, WITHOUT RESUBMITTAL AND SUBSEQUENT APPROVAL OF ANY REQUESTED REVISIONS. UPON COMPLETION OF THE SITE WORK, THE VILLAGES RESERVES THE ABSOLUTE RIGHT TO REVIEW THE FINISHED CONSTRUCTION AND TO DETERMINE WHETHER THE COMPLETED JOB MEETS THE APPROVED SUBMITTAL PLANS AND SPECIFICATIONS. THE PARCEL DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING THE VILLAGES TO SPECIFICALLY REQUEST A FINAL INSPECTION. ANY DEFICIENCIES FOUND BY THE VILLAGES WILL BE IDENTIFIED IN WRITING TO THE PARCEL DEVELOPER, WHO SHALL IMMEDIATELY TAKE ALL CORRECTIVE ACTION NECESSARY TO REMEDY ANY DEFICIENCIES. FINAL APPROVAL FROM THE VILLAGES SHALL BE OBTAINED PRIOR TO SUBMITTAL OF THE FINAL CERTIFICATION OF COMPLETION TO SUMTER COUNTY BY THE PROJECT ENGINEER.

THE STANDARD DETAILS FOR THIS PROJECT SHALL BE FOUND IN "THE VILLAGES CONSTRUCTION DETAILS MANUAL, DATED MAY 1, 2009", PREPARED BY GRANT & DZURO, OR AS AMENDED BY THESE PLANS.

NOTE: ELEVATIONS SHOWN WERE OBTAINED BY SURVEY AND ARE BASED ON THE VILLAGES DATUM. TO OBTAIN N.G.V.D. ADD 3.46 FEET.

**FARNER
BARLEY
AND ASSOCIATES, INC.**
Certificate of Authorization Number: 4709
4450 N.E. 83rd Road • Wildwood, Florida 34785 • (352) 748-3126

▲ ENGINEERS
▲ SURVEYORS
▲ PLANNERS

 <p>VILLAGES OF SUNTER COLONY GOLF COURSE PARKING/STARTER SHACK</p>		<p>ENGINEERS ▲ SURVEYORS ▲ PLANNERS ▲</p> <p>FARNER BARLEY AND ASSOCIATES, INC.</p> <p>Certificate of Authorization Number: 4709</p> <p>4450 N.E. 85th Road • Willemstad, Florida 34785 • (352) 748-3126</p>		<p>DATE: _____</p> <p>BY: _____</p>
<p>DATE: 11-23-10</p> <p>DRAWN BY: BRP</p> <p>CHECKED BY: JAH</p> <p>FILE NAME: _____</p> <p>JOB NO.: 92141214</p>		<p>SITE PLAN</p>		<p>DATE: _____</p> <p>BY: _____</p>
<p>ENGINEER: _____</p> <p>SHT. 4 OF 6</p>		<p>DATE: _____</p> <p>BY: _____</p>		<p>DATE: _____</p> <p>BY: _____</p>

- EXISTING BULKHEAD
LOCATION

MORSE BOULEVARD

12" STABILIZED SUBGRADE WITH A MINIMUM L.B.R. OF 40, COMPACTED TO 98% OF MAXIMUM DENSITY PER AASHTO T-180.

UNDERCUT & BACKFILL W/ CLEAN SAND WHEN CLAYEY OR PLASTIC MATERIAL IS ENCOUNTERED IN ACCORDANCE WITH "THE VILLAGES CONSTRUCTION & DEVELOPMENT MANUAL DATED AUG. 20, 2007", PREPARED BY GRANT & DZURO.

UNDERCUT & BACKFILL W/
CLEAN SAND (ENTIRE
BUILDING PAD AREA) AS
REQUIRED. SEE
GEOTECHNICAL
ENGINEERING STUDY

EXISTING CONTOUR LINE

PROPOSED CONTOUR LINE

PROPOSED PAVEMENT ELEVATION

PROPOSED TOP OF CURB ELEVATION

PROPOSED PAVEMENT ELEVATION

EXISTING PAVEMENT ELEVATION


EXISTING GROUND ELEVATION

DIRECTION OF DRAINAGE

1. ELEVATIONS SHOWN WERE OBTAINED BY SURVEY AND ARE BASED ON THE VILLAGES DATUM. TO OBTAIN N.G.V.D. ADD 3.46 FEET.
2. ALL PROPOSED ELEVATIONS ARE SHOWN TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
3. THE STANDARD DETAILS FOR THIS PROJECT SHALL BE THE "STANDARD VILLAGE CONSTRUCTION DETAILS, MAY 1, 2004" PREPARED BY GRANT & DZURO OR AS AMENDED BY THESE PLANS.
4. GENERALIZED BERM INFORMATION NOT PROVIDED.
5. FINAL GRADING SHALL BE DONE UNDER THE DIRECTION OF LANDSCAPE ARCHITECT. SEE LANDSCAPE PLAN FOR BERM LOCATIONS AND SIZE.
6. THE STORMWATER RUNOFF FROM THIS PROJECT SITE DISCHARGES INTO PREVIOUSLY PERMITTED RETENTION / FLOOD PROTECTION LOCATION OFFSHORE (COORD. 24 HR. ELEV. 72.33, PERMITTED WITH V.O.S. MORSE BLVD PH. 5 REDESIGN, POND 3-N, ERP #44023491.047)
7. PROJECT IS NOT WITHIN 100 YR FLOOD PLANE PER FEMA PANEL 12029460075B, AND IS LOCATED IN ZONE C.

NOTE:
ALL HANDICAP ACCESSIBLE PARKING SPACES,
HANDICAP ACCESSIBLE SIDEWALK ROUTES AND
ALL SITE SIDEWALKS ARE NOT TO EXCEED A
2.00% MAXIMUM CROSS SLOPE.
IF DURING FINAL BUILDING CERTIFICATION ANY OF
THESE AREAS ARE FOUND EXCEEDING
ACCESSIBILITY LIMITS (MAXIMUM 2.00%) FOR
CERTIFICATE OF OCCUPANCY IT SHALL BE THE
RESPONSIBILITY OF THE SITE CONTRACTOR TO
REMOVE AND REPLACE ALL AREAS FOUND TO BE
UNACCEPTABLE BY INSPECTOR. THIS WORK SHALL
BE COMPLETED WITH NO ADDITIONAL COST TO
OWNER AND/OR DESIGNERS.

NOTE:
FINISH FLOOR ELEVATIONS MAY BE ADJUSTED
BASED ON "AS-BUILT" ELEVATION OF PROPOSED
EDGE OF PAVEMENT ELEVATIONS AND
ADJUSTED ACCORDINGLY BEFORE
CONSTRUCTION OF PROPOSED BUILDING.
COORDINATE WITH SITE ENGINEER BEFORE
CONSTRUCTION OF BUILDING SLAB.

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The Villages

VILLAGES OF SUMTER
COLONY GOLF COURSE
PARKING/STARTER SHACK

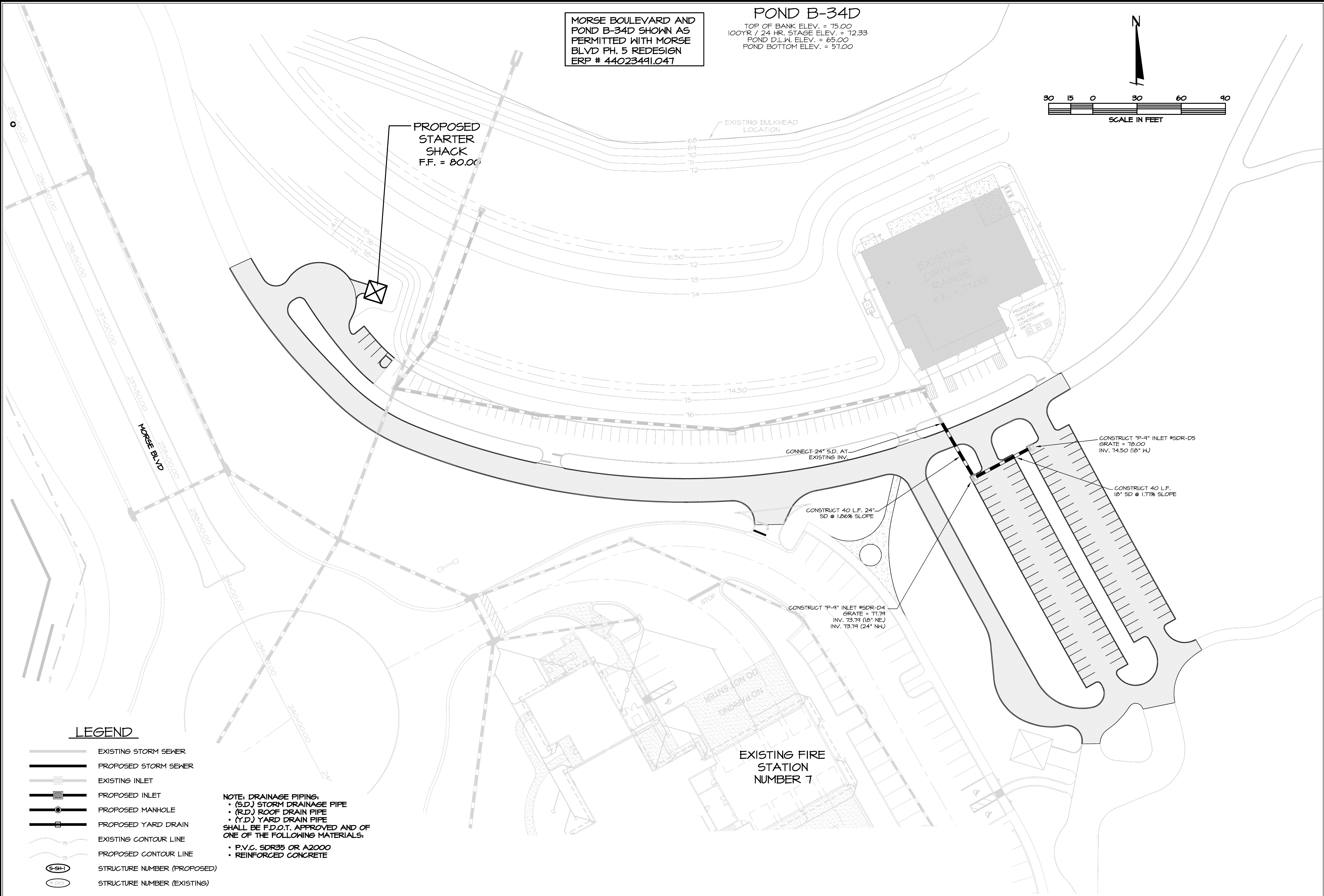
GRADING PLAN

DATE 11-23-10
DRAWN BY BRP
CHKD BY JAH
FILE NAME Grading
JOB NO. 921141.2114

ATE.

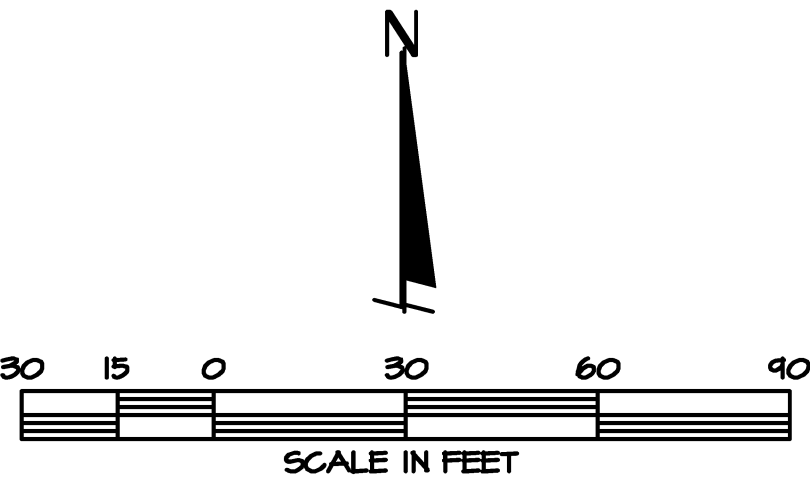
PAGE 5 OF 6

S:\SUMTER\STP\ANS\Colony Golf Course Parking\CVIL\CONSTRUCTION\006 Stm.dwg, 12/16/2010 9:23:41 AM



MORSE BOULEVARD AND
POND B-34D SHOWN AS
PERMITTED WITH MORSE
BLVD PH. 5 REDESIGN
ERP # 44023491.047

POND B-34D
TOP OF BANK ELEV. = 75.00
100YR / 24 HR. STAGE ELEV. = 72.33
POND D.L.W. ELEV. = 65.00
POND BOTTOM ELEV. = 57.00



LEGEND

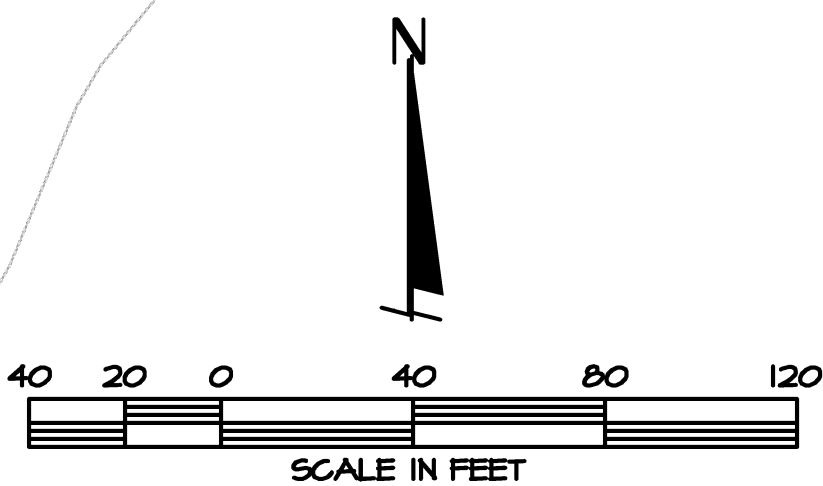
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING INLET
- PROPOSED INLET
- PROPOSED MANHOLE
- PROPOSED YARD DRAIN
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- STRUCTURE NUMBER (PROPOSED)
- STRUCTURE NUMBER (EXISTING)

NOTE: DRAINAGE PIPING:
• (S.D.) STORM DRAINAGE PIPE
• (R.D.) ROOF DRAIN PIPE
• (Y.D.) YARD DRAIN PIPE
SHALL BE F.D.O.T. APPROVED AND OF
ONE OF THE FOLLOWING MATERIALS:
• P.V.C. SDR35 OR A2000
• REINFORCED CONCRETE

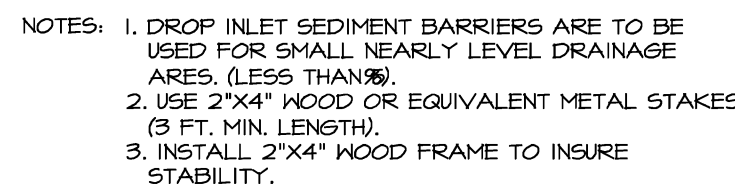
BY	
REVISIONS	
DATE	
FARNER & BARLEY ENGINEERS, SURVEYORS AND PLANNERS Certificate of Authorization Number: 4709 4450 N.E. 83rd Road O. Midland, Florida 34765 O (352) 748-3126	
The Villages VILLAGES OF SUMTER COLONY GOLF COURSE PARKING/STARTER SHACK STORMWATER DRAINAGE PLAN	
DATE: 11-23-10	DRAWN BY: BRP
CHKD BY: JAH	FILE NAME: 3m
JOB NO.: 42141214	ENGINEER: DATE:
SHT. 6 OF 6	



- POND B-34D
TOP OF BANK ELEV. = 75.00
100YR / 24 HR. STAGE ELEV. = 72.33
POND D.L.W. ELEV. = 65.00
POND BOTTOM ELEV. = 57.00



CURB INLET
SEDIMENT FILTER DETAIL
TYPE A



2'x4' FABRIC
2'x4' WOOD
OVERLAPPING
NEXT STAKE

15' MIN.
18' MAX.

36' MIN.

TOP FRAME NECESSARY
FOR STABILITY

2'x4' WOOD FRAME
4 SIDES OF DROP INLE

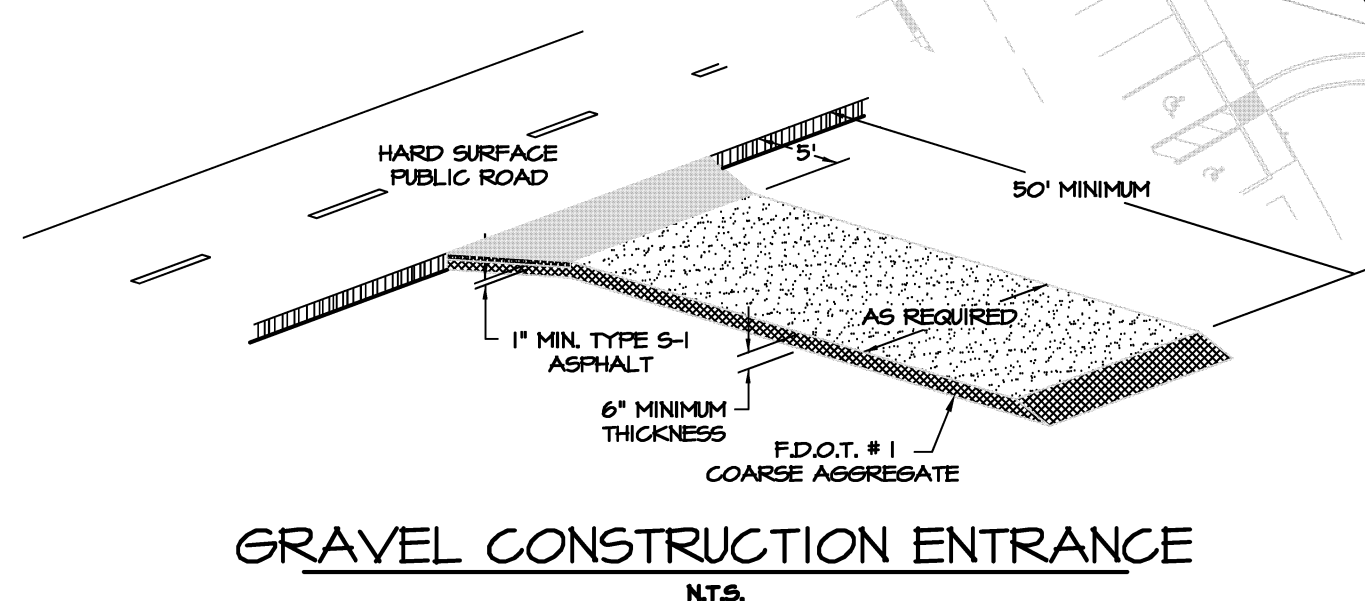
A MINIMUM OF 12' OF
SILT FENCE MUST BE
BURIED IN TRENCH

FILTERED
WATER

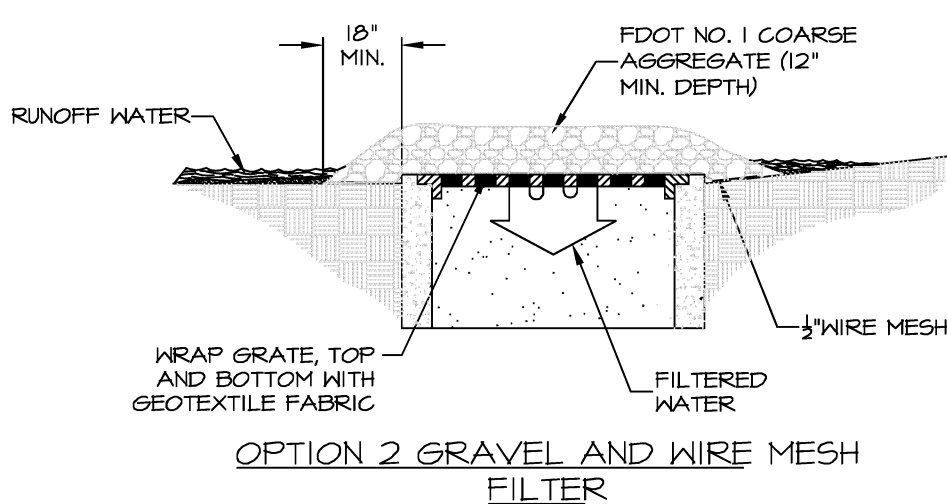
SECTION A-A

OPTION 1: SILT FENCE

DROP INLET
SEDIMENT FILTER DETAIL
TYPE B



GRAVEL CONSTRUCTION ENTRANCE



OPTION 2 GRAVEL AND WIRE MESH FILTER

THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE, IN THE OPINION OF THE ENGINEER, THE MINIMUM THAT MAY BE REQUIRED. ACTUAL FIELD CONDITIONS MAY REQUIRE EITHER ADDITIONAL OR REDUCED EROSION CONTROL MEASURES TO BE IMPLEMENTED. THE CONTRACTOR IS DIRECTED TO FOLLOW STANDARD BEST MANAGEMENT PRACTICES IN IMPLEMENTING A SUCCESSFUL EROSION CONTROL PLAN.

BRETT J. TOBIAS, P.E.
REGISTERED ENGINEER NO. 69017
STATE OF FLORIDA

JOHN R. GRANT
VICE PRESIDENT
THE VILLAGES OF LAKE-SUMTER, INC.

**FARNER
BARLEY**
AND ASSOCIATES, INC.

Certificate of Authorization Number: 4709

▲ ENGINEERS
▲ SURVEYORS
▲ PLANNERS

4450 N.E. 83rd Road • Milledgeville, Georgia 30426 • (404) 748-3126

The Villages
Master Plan
EROSION CONTROL
MASTER PLAN

DATE 11-23-10
DRAWN BY BRP
CHKD BY JAH
FILE NAME EROSION
JOB NO. 921141.2114

ENGINEER:

SHT. EI OF EI